



# City of Napoleon, Ohio

## Zoning Department

255 West Riverview Avenue, P.O. Box 151  
Napoleon, OH 43545

Mark B. Spiess, Senior Engineering Technician / Zoning Administrator  
Telephone: (419) 592-4010 Fax: (419) 599-8393  
[www.napoleonohio.com](http://www.napoleonohio.com)

### RESIDENTIAL PERMIT

Issued Date: February 28, 2019

Expiration Date: February 28, 2020

Permit Number: P-19-021

Job Location: 1163 Clairmont Ave.

Owner: Brent and Jennifer Beard  
131 Railroad St.  
Napoleon, OH 43545

Contractor: Wayne Homes  
419-257-6102

Zone: R-2 Low Density Residential

Set Backs: Principle Building

Front:30 Rear: 15 Side: 7

**Comments:**


New Construction, Single Family, Wood Frame, Ranch with Attached Garage

Permit Type: Zoning, 1" Water Tap, 5/8" Meter, Copper Setter and Transmitter, Sewer Tap  
Inspection Fee for Single Family or Duplex.

Fee: \$1,285.00

Status: Paid

Amount Due: \$0.00



Mark B. Spiess  
Sr. Eng. Tech / Zoning Admin.



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P-19-021

### Residential Zoning Permit Application

Date 2-27-19 Job Location 1163 Clairmont Ave Napoleon, OH 43545  
 Owner Brent and Jennifer Beard Telephone # 419-966-7936  
 Owner Address 131 Railroad St. Napoleon, OH 43545  
 Contractor Wayne Homes Cell Phone # 419-257-6102  
 Description of Work to be Performed New construction, single family, wood frame, ranch with attached garage  
 Estimated Completion Date 9-15-19 Estimated Cost 270,176.00

Demo Permit - \$100.00 - See Separate Form	(MDEMO 100.1700.46690)	\$
Zoning Permit - \$25.00	(MZON 100.1700.46690)	\$ 25.00
Fence/Pool/Deck - \$25.00	(MZON 100.1700.46690)	\$
Accessory Building Under 200 SF (Detached) - \$25.00	(MZON 100.1700.46690)	\$
Driveway/Sidewalk/Curbing/Patio - \$0.00	(MZON 100.1700.46690)	\$ 0.00
Drainage Permit/Outside Water/Sewer Repair - \$0.00	(MBLDG 510.0000.44730)	\$
1" Water Tap, 5/8" Meter, Copper Setter and Transmitter - \$1,200.00(Outside City - \$5,680)	(MBLDG 510.0000.44730)	\$ 1,200.00
1" Water Tap, 3/4" Meter, Copper Setter and Transmitter - \$1,300.00(Outside City - \$5,820)	(MBLDG 510.0000.44730)	\$
1" Water Tap, 1" Meter, Copper Setter and Transmitter - \$1,400.00 (Outside City - \$5,960)	(MBLDG 510.0000.44730)	\$
1" Meter, Copper Setter and Transmitter Without Tap - \$525.00	(MBLDG 510.0000.44730)	\$
3/4" Meter, Copper Setter and Transmitter Without Tap - \$440.87	(MBLDG 510.0000.44730)	\$
5/8" Meter, Copper Setter and Transmitter Without Tap - \$350.00	(MBLDG 510.0000.44730)	\$
Sewer Tap For Lots 7,200 Sq. Ft. Or Less - \$0.00	(MBLDG 520.0000.44830)	\$ 0.00
Sewer Tap For Lots (Single Family) 7,201 To 12,199 Sq. Ft. ( x \$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Single Family) 12,200 Sq. Ft. or Greater - \$60.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Two Family) 7,201 to 23,866 Sq. Ft. ( x\$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Two Family) 23,867 Sq. Ft. or Greater - \$200.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Three Family) 7,201 to 36,366 Sq. Ft. ( x\$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Three Family) 36,367 Sq. Ft. or Greater - \$350.00	(MBLDG 520.0000.44830)	\$
Sewer Tap Inspection Fee For Single Family or Duplex - \$60.00	(MBLDG 520.0000.44830)	\$ 60.00
Inspection Fee Outside the Corporation Limits - Increase 50%	(MBLDG 520.0000.44830)	\$
<b>TOTAL FEE:</b>		<b>\$ 1,285.00</b>

I FULLY UNDERSTAND THAT NO EXCAVATION, CONSTRUCTION OR STRUCTURAL ALTERATION, ELECTRICAL OR MECHANICAL INSTALLATION OR ALTERATION OF ANY BUILDING STRUCTURE, SIGN, OR PART THEREOF AND NO USE OF THE ABOVE SHALL BE UNDERTAKEN OR PERFORMED UNTIL THE PERMIT APPLIED FOR HEREIN HAS BEEN APPROVED AND ISSUED BY THE CITY OF NAPOLEON ZONING DEPARTMENT.  
 I hereby certify that I am the Owner of the named property, or that the proposed work is authorized by the Owner of record and that I have been authorized by the Owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for Work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

I HEREBY ACKNOWLEDGE THAT I HAVE READ AND FULLY UNDERSTAND THE ABOVE LISTED INSTRUCTIONS.

SIGNATURE OF APPLICANT: Brent J Beard DATE: 2-27-19

BATCH #	CHECK #	DATE
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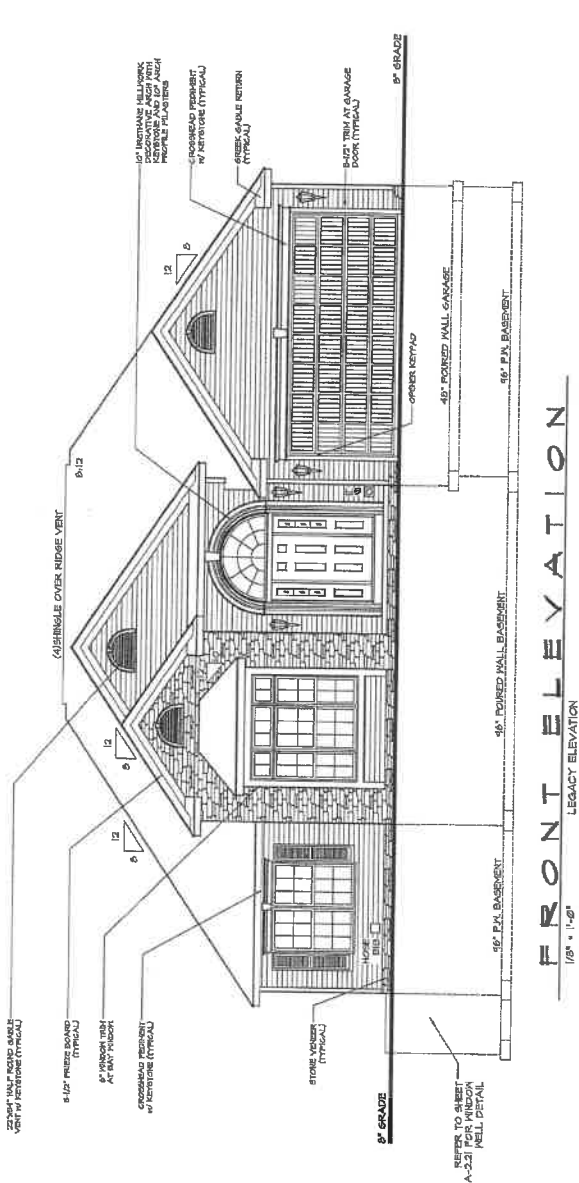


**Stafford**  
 BRENT & JENNIFER BEARD  
 1163 CLAIRMONT AVE  
 NAPOLEON, OH 43545  
 BG #4194  
 HENRY CO.

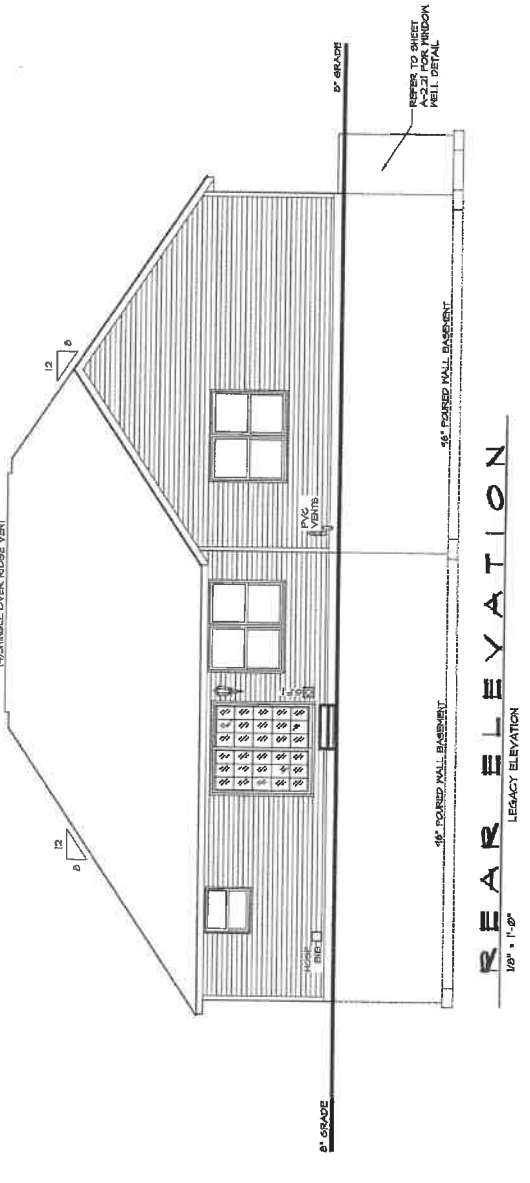
**FRONT AND REAR ELEVATIONS**

DATE	01/14/18
PROJECT	CHG DROTTED
BY	
CHECKED	
SCALE	AS SHOWN
PROJECT NO.	

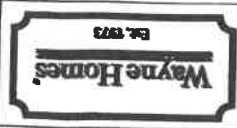
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**FRONT ELEVATION**  
 LEGACY ELEVATION  
 1/8" = 1'-0"



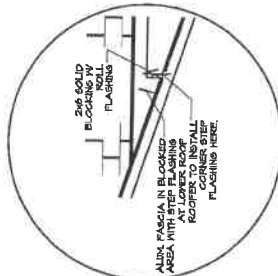
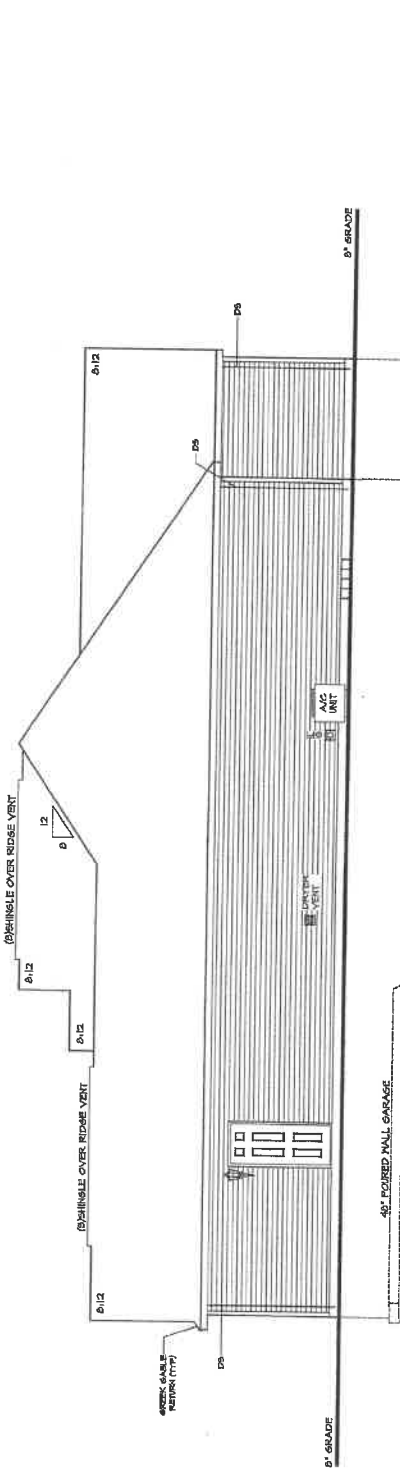
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 LEGACY ELEVATION  
 1/8" = 1'-0"



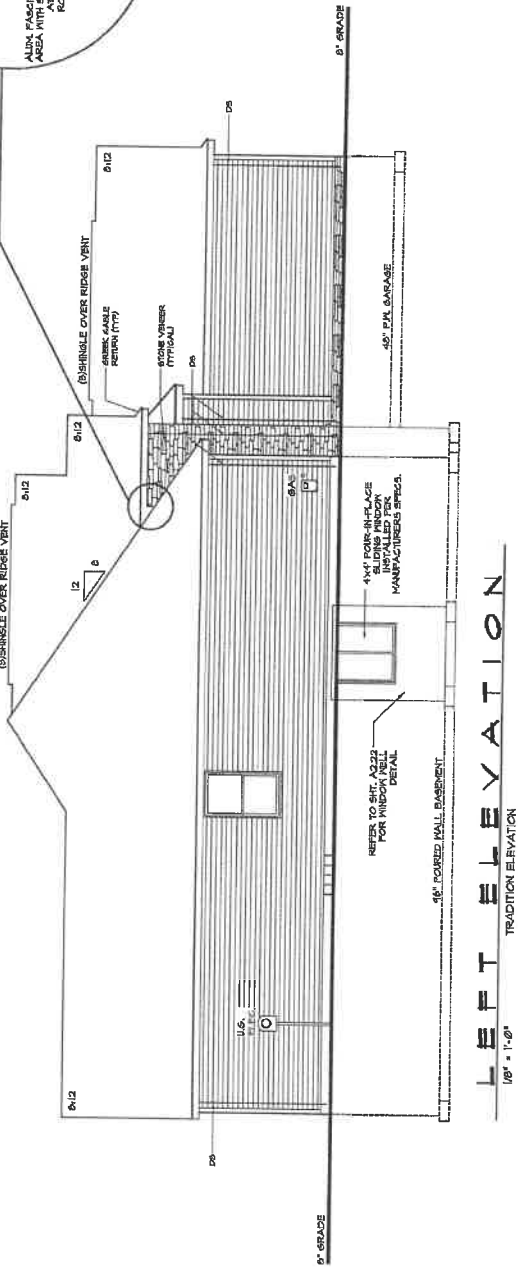
**Stafford**  
 BRENT & JENNIFER BEARD  
 1163 CLARKMONT AVE  
 NAPOLEON, OH 43545  
 BG 344794  
 HENRY CO.

**RIGHT AND LEFT  
 ELEVATIONS**

sheet  
 A7.11  
 1/8" = 1'-0"



**RIGHT ELEVATION**  
 TRADITION ELEVATION  
 1/8" = 1'-0"



**LEFT ELEVATION**  
 TRADITION ELEVATION  
 1/8" = 1'-0"

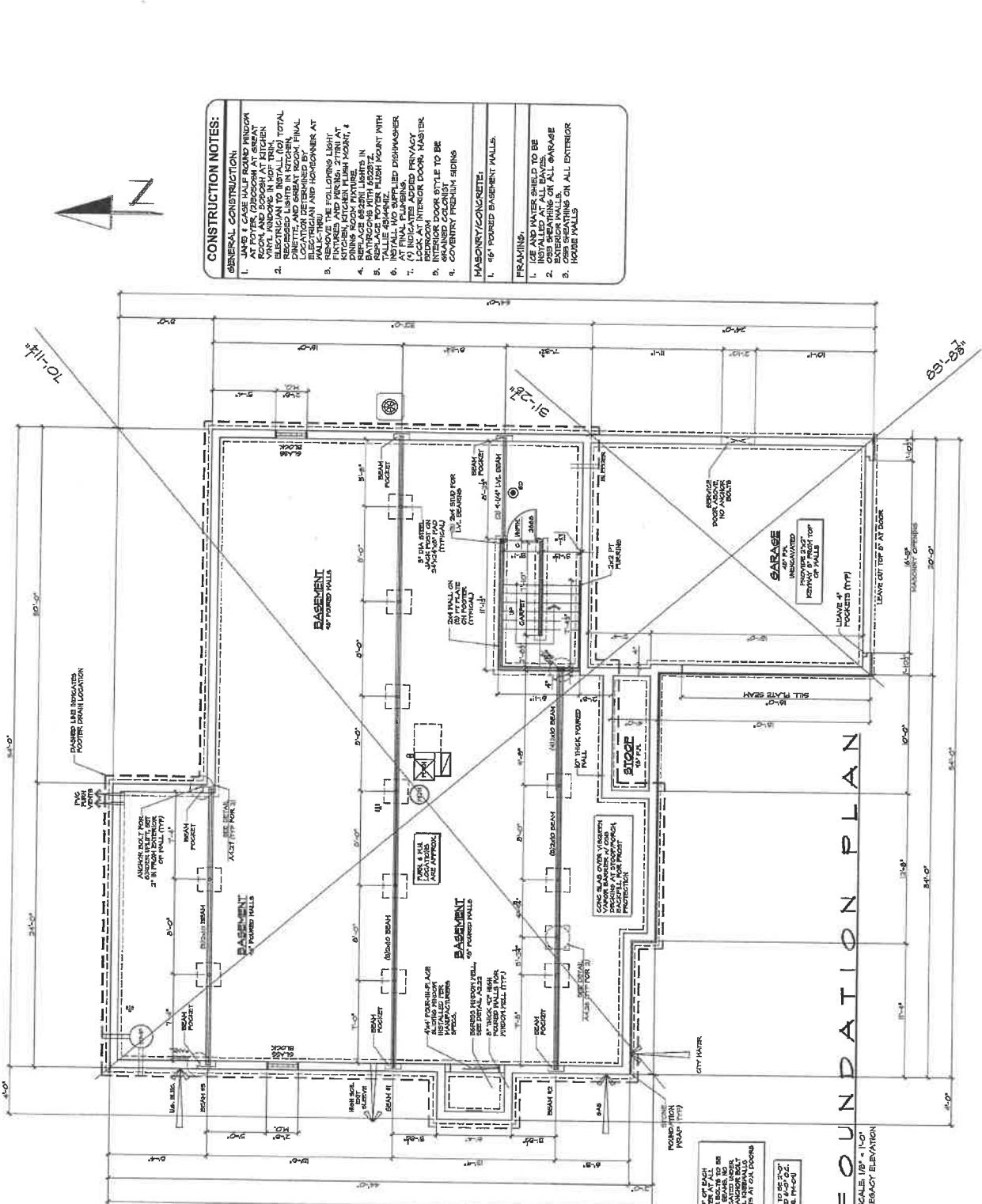


Stafford  
 BRENT & JENNIFER BEARD  
 1185 CLAYMONT AVE  
 NAPOLION, OH 45445  
 EG #479d  
 HENRY CO.

**FOUNDATION PLAN**

PROJECT NO.	DATE
CLIENT	DESIGNER
DATE	SCALE
BY	CHECKED
APPROVED	DATE

Sheet **A2.20**



**CONSTRUCTION NOTES:**

**GENERAL CONSTRUCTION:**

- JAMBS & CASE HALF ROUND WINDOW AND DOORS/DOORSHAM AT GREAT ROOMS AND HALLS. FLOOR FINISHES VENEER, ANODIZED ALUMINUM, VINYL AND STAINLESS STEEL FINISHES. REVISIONS TO INSTALL (O) TOTAL, (D) DIMENSIONS, AND GREAT ROOM FINAL LOCATION DETERMINED BY ELEVATION. FINISHES TO BE DETERMINED BY ARCHITECT AND HOMEOWNER AT THE TIME OF PERMITS.
- KITCHEN AND BREAKFAST ROOM FINISHES TO BE DETERMINED BY ARCHITECT AND HOMEOWNER AT THE TIME OF PERMITS.
- BATHROOMS WITH 4000 PSI CONCRETE FLOOR, 4\"/>

**MASONRY/CONCRETE:**

- 4\"/>

**FRAMING:**

- ICE AND WATER SHIELD TO BE INSTALLED UNDER ALL EXTERIOR FINISHES.
- WOOD SHROUDING ON ALL GARAGE DOOR FRAME.
- HOUSE WALLS TO BE FINISHED ON ALL EXTERIOR WALLS.



ANCHOR BOLTS WITH 1/2\"/>

REBAR FOOTING LAYERS TO BE 2\"/>

SCALE: 1/8\"/>

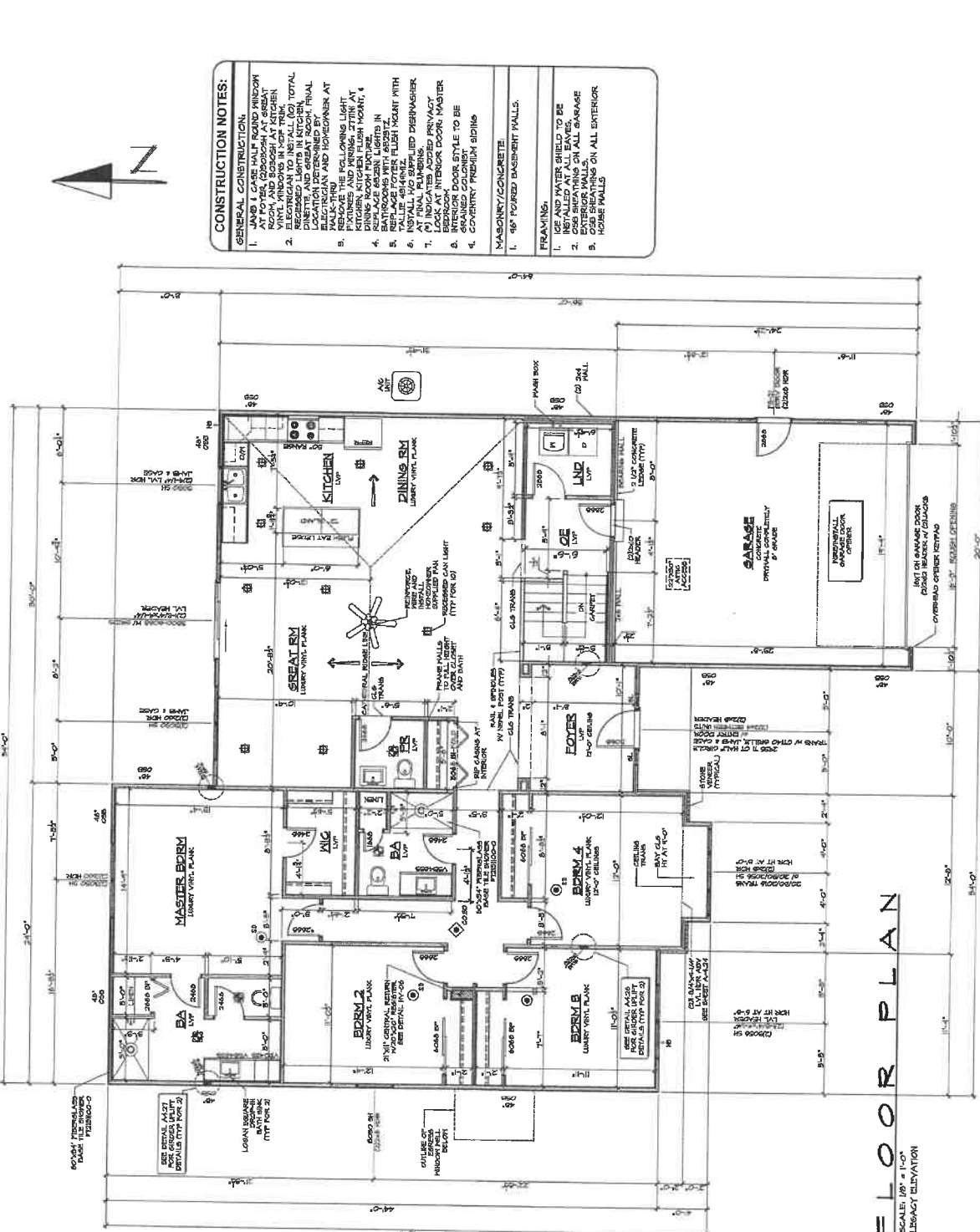
LEGACY ELEVATION

**FIRST FLOOR PLAN**

Designer: [unreadable] Architect: [unreadable] Engineer: [unreadable]  
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NO.	DATE	DESCRIPTION
1	10/20/10	PRELIMINARY
2	11/15/10	REVISED
3	12/10/10	REVISED
4	1/10/11	REVISED
5	2/10/11	REVISED
6	3/10/11	REVISED
7	4/10/11	REVISED
8	5/10/11	REVISED
9	6/10/11	REVISED
10	7/10/11	REVISED
11	8/10/11	REVISED
12	9/10/11	REVISED
13	10/10/11	REVISED
14	11/10/11	REVISED
15	12/10/11	REVISED

Sheet  
A4.20



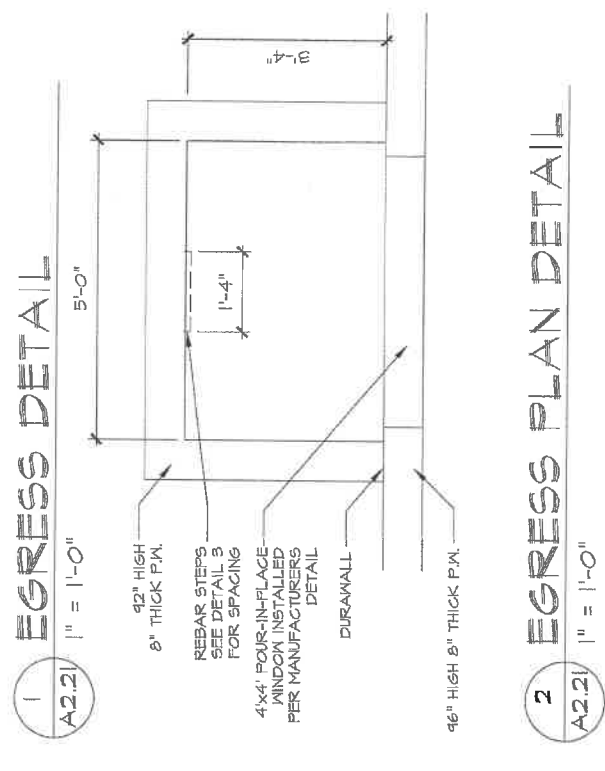
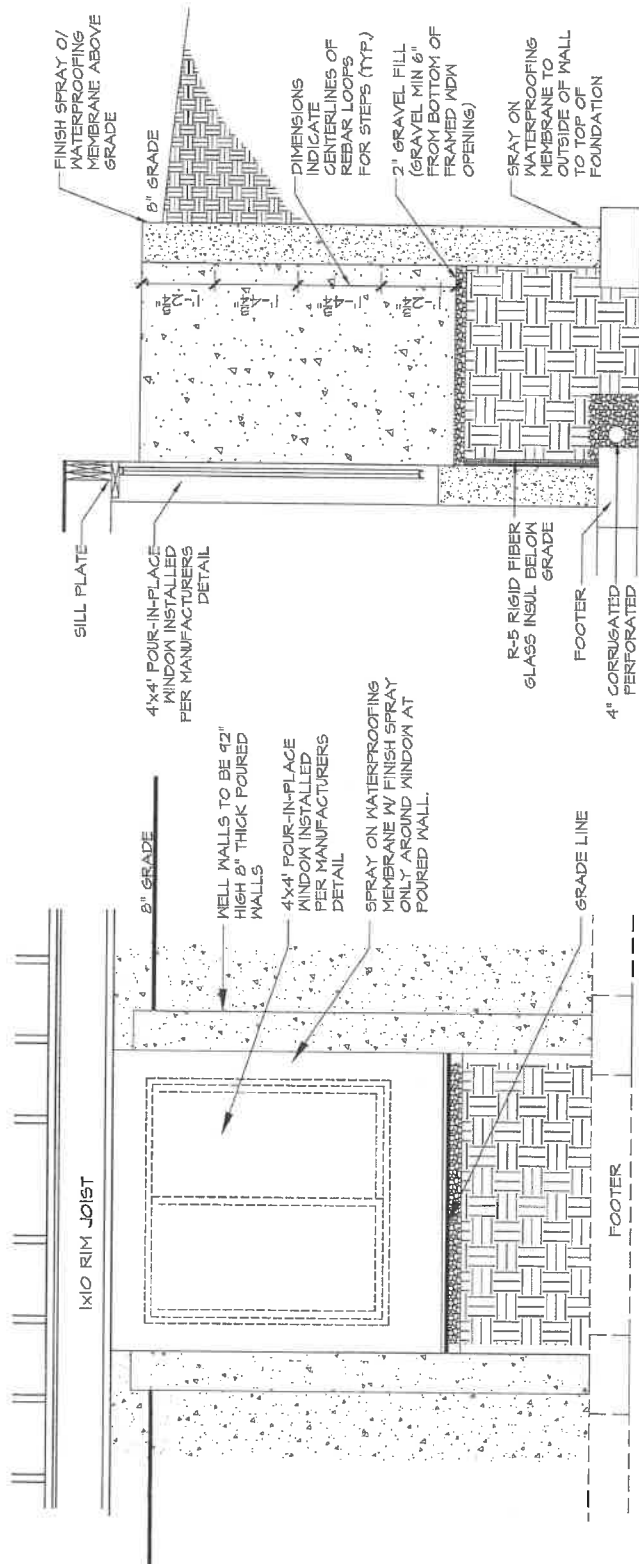
**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
LEGACY ELEVATION

**GENERAL CONSTRUCTION NOTES:**

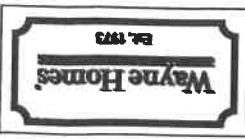
1. UNLESS SPECIFIED, ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 IRC AND BOCA CODES.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 NEC AND BOCA CODES.
3. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 IPC AND BOCA CODES.
4. ALL MECHANICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 ACCA AND BOCA CODES.
5. ALL ROOFING WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 IRC AND BOCA CODES.
6. ALL PAINTING SHALL BE DONE IN ACCORDANCE WITH THE 2012 BOCA CODES.
7. ALL FINISHES SHALL BE DONE IN ACCORDANCE WITH THE 2012 BOCA CODES.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 BOCA CODES.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 BOCA CODES.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2012 BOCA CODES.



DATE	01/14/10
DESIGNER	DAVID
CHECKED	DAVID
PROJECT NO.	
PROJECT NAME	
CLIENT	



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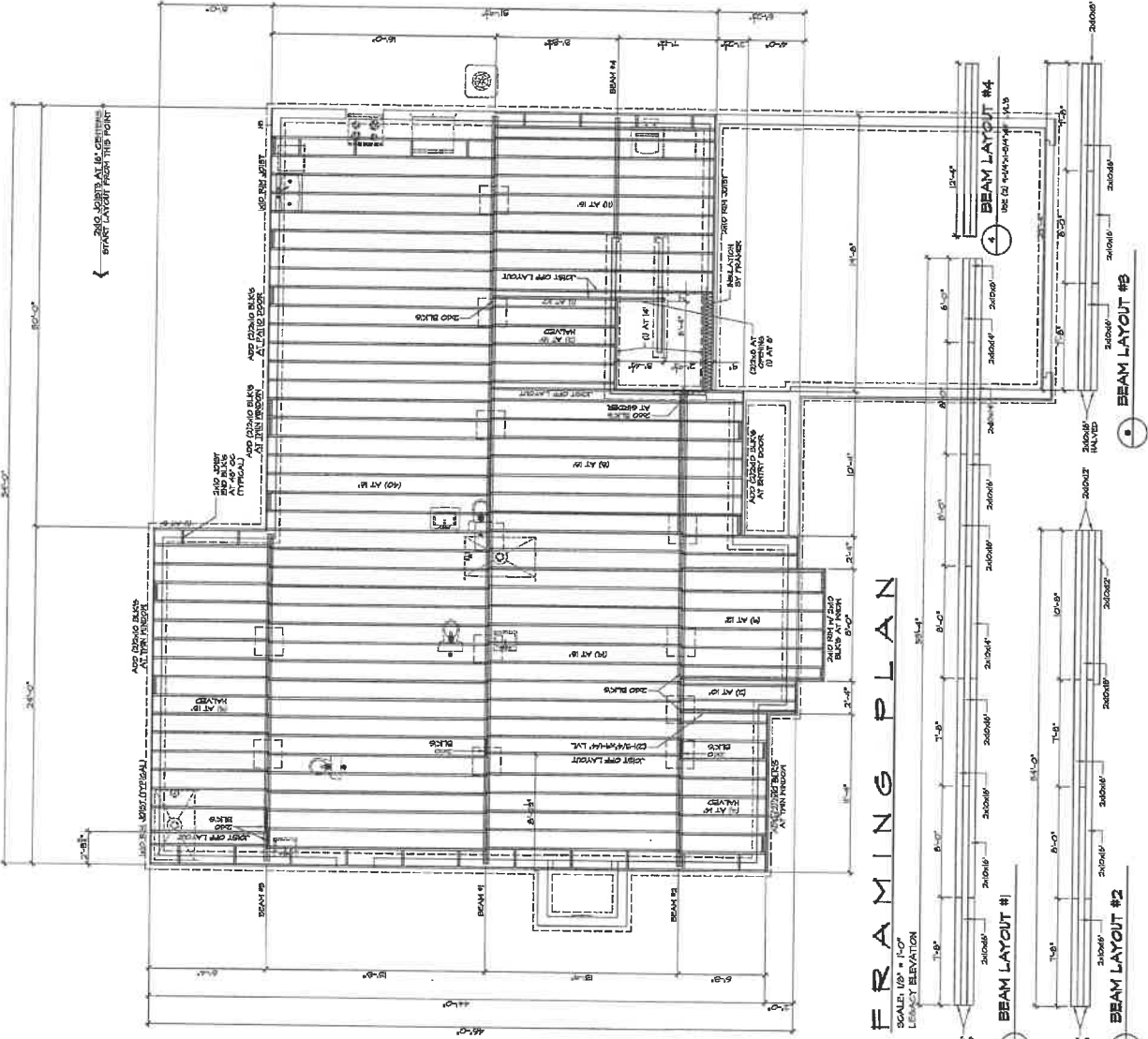
**Stafford**

BENT & ENNIFER BEARD  
163 CLARKMONT AVE  
NAPOLION, OH 45845  
D6 #4794  
HENRY CO.

**FLOOR FRAMING PLAN**

name	date
project	TITLE
sheet	NO.
revision	DATE
drawn by	DATE
checked by	DATE

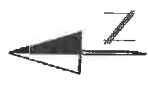
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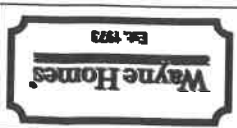
**FRAMING PLAN**

SCALE: 1/8" = 1'-0"  
ELECTRIC ELEVATION

- CONSTRUCTION NOTES:**
- GENERAL CONSTRUCTION.
    - LAND 1 CASE HALF ROUND WINDOW AT PORCH, DISAPPEAR AT GREAT ROOM AND PORCH AT KITCHEN
    - REPLACE EXISTING LIGHTS IN KITCHEN WITH NEW LIGHTS IN KITCHEN. LOCATION DETERMINED BY ELECTRICAL CONTRACTOR AT FINAL MEETING AND HONEYWELL AT FINAL MEETING.
    - REMOVE THE FOLLOWING LIGHT FIXTURES: GREAT ROOM, KITCHEN, DINING ROOM, HALL, ENTRY, PORCH, AND PORCH AT GREAT ROOM.
    - DINING ROOM FIXTURE: HALL FIXTURE: KITCHEN KITCHEN FIXTURE: PORCH 1
    - REPLACE FLOOR FLUSH MOUNT WITH AT FINAL PLUMBING. (SEE PLAN)
    - INSTALL TWO SUPPLIED DISHWASHER AT FINAL PLUMBING. (SEE PLAN)
    - LOCK AT INTERIOR DOOR MASTER BEDROOM. (SEE PLAN)
    - BRANDED COLONIAL SIDING
  - MASONRY/CONCRETE.
    - 1/2" PAIRED BASEMENT WALLS.
  - FRAMING.
    - ICE AND WATER SHIELD TO BE INSTALLED AT ALL WAVES.
    - EXTERIOR WALLS ON ALL GARAGE AND BREAKINGS ON ALL EXTERIOR ROOF WALLS.







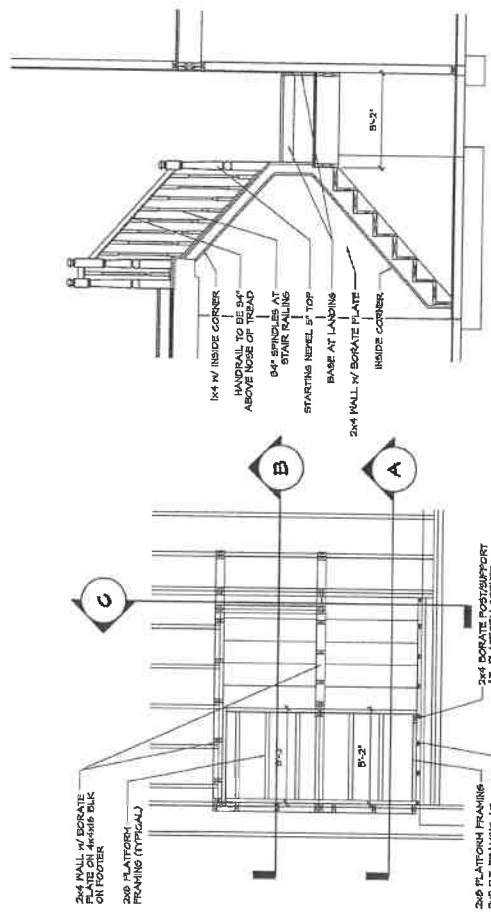
**Stafford**  
**BRANT & JENNIFER BEARD**  
 1163 CLAIRMONT AVE  
 NAPOLÉON, OH 43545  
 EG #4794  
 HENRY CO.

**MISC. FRAMING DETAILS**

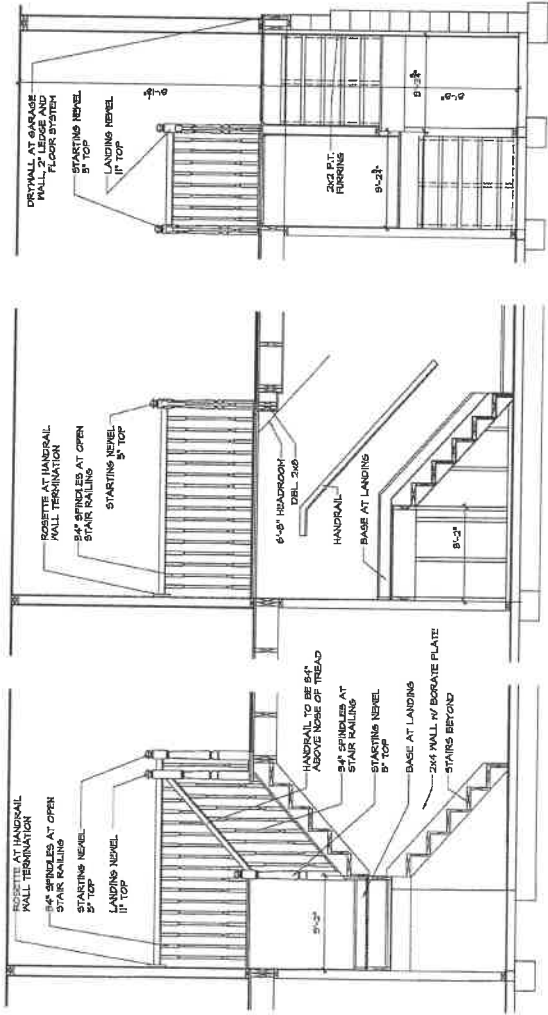
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DATE	DESCRIPTION
08/20/10	ISSUED FOR PERMIT
08/20/10	ISSUED FOR PERMIT
08/20/10	ISSUED FOR PERMIT
08/20/10	ISSUED FOR PERMIT

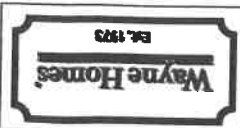
Sheet  
**A4.21**



**STAIR TRIM DETAIL**  
 1/4" = 1'-0"



**A STAIR SECTION** 1/4" = 1'-0"  
**B STAIR SECTION** 1/4" = 1'-0"  
**C STAIR SECTION** 1/4" = 1'-0"  
**STAIR CONSTRUCTION DETAILS**



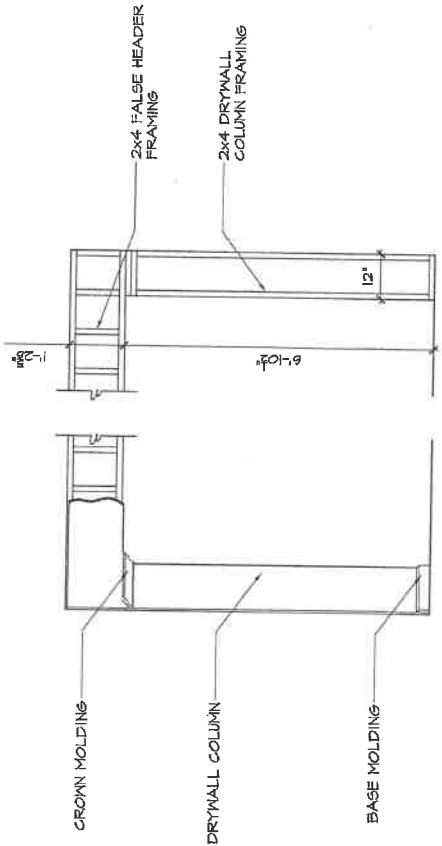
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 BRENT & JENNIFER BEARD  
 1163 CLAIRMONT AVE  
 NAPOLÉON, OH 45545  
 EG #4794  
 HENRY CO.

**MISC. FRAMING DETAILS**

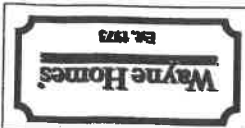
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DATE	01/14/11
BY	02/07/11
CHKD	
APP'D	
SCALE	
PROJECT	
DESCRIPTION	
LOCATION	
OWNER	
ARCHITECT	
ENGINEER	
DATE	

Sheet: **A4.22**



**F O Y E R D E T A I L**  
 SCALE: 3/8" = 1'-0"

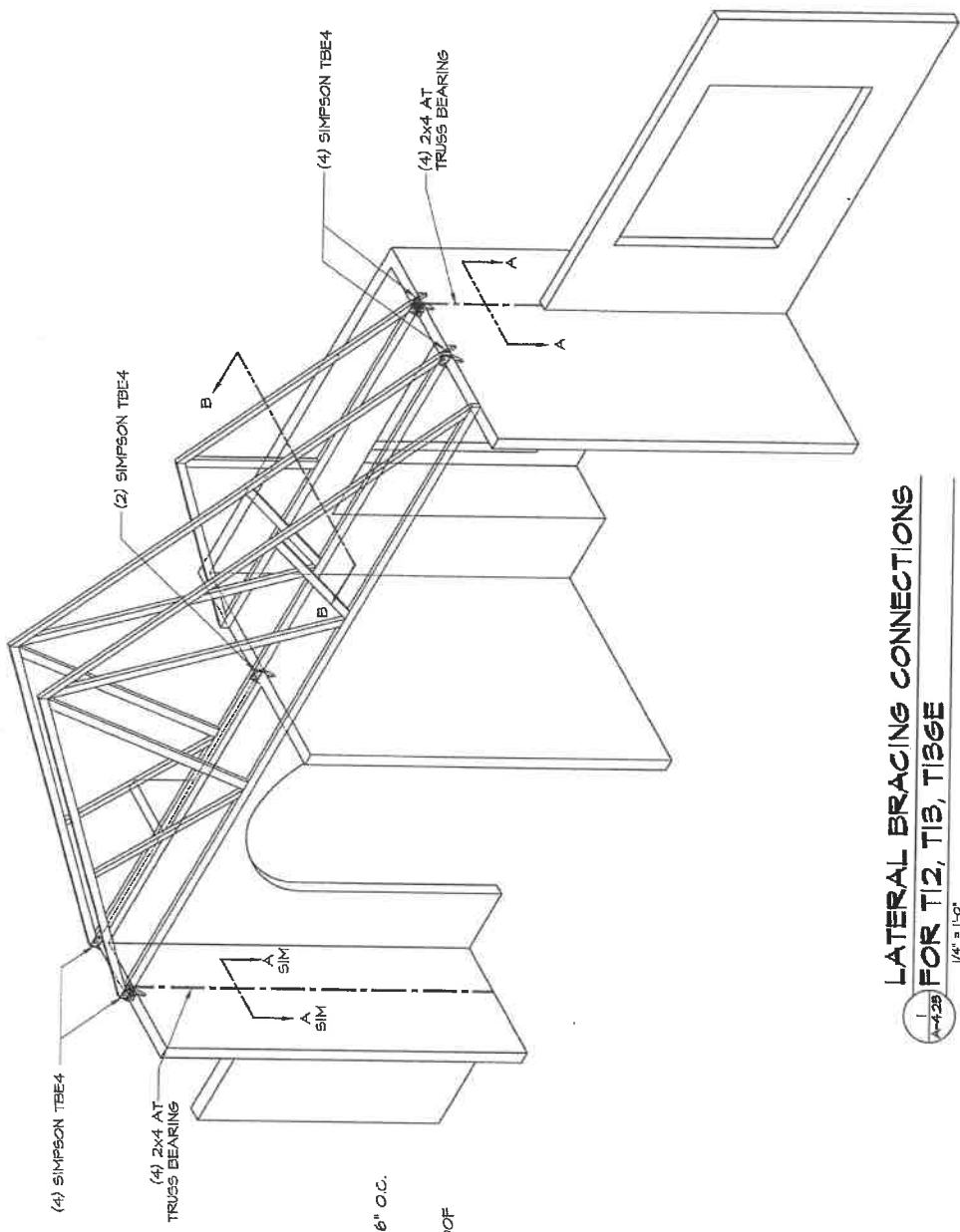


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 1163 CLAYMONT AVE  
 NAPOLCON, OH 43045  
 BG #4194  
 HENRY CO.

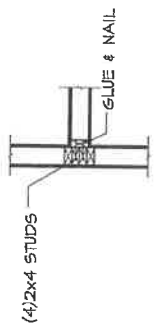
**MISC. FRAMING DETAILS**

DATE	01/17/18
PROJECT	180411
CLIENT	STAFFORD
DESIGNER	STAFFORD
CHECKER	STAFFORD
DATE	02/07/18
PROJECT	180411
CLIENT	STAFFORD
DESIGNER	STAFFORD
CHECKER	STAFFORD

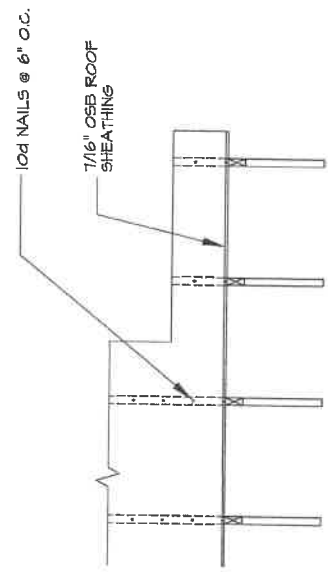
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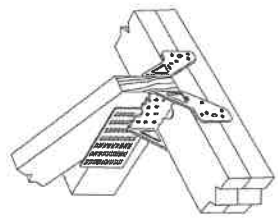
**LATERAL BRACING CONNECTIONS**  
**FOR T12, T13, T13GE**  
 1/4" = 1'-0"



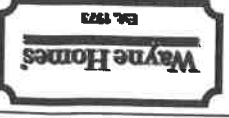
**DETAIL SECTION A-A**  
 1/2" = 1'-0"



**DETAIL SECTION B-B**  
 1/2" = 1'-0"



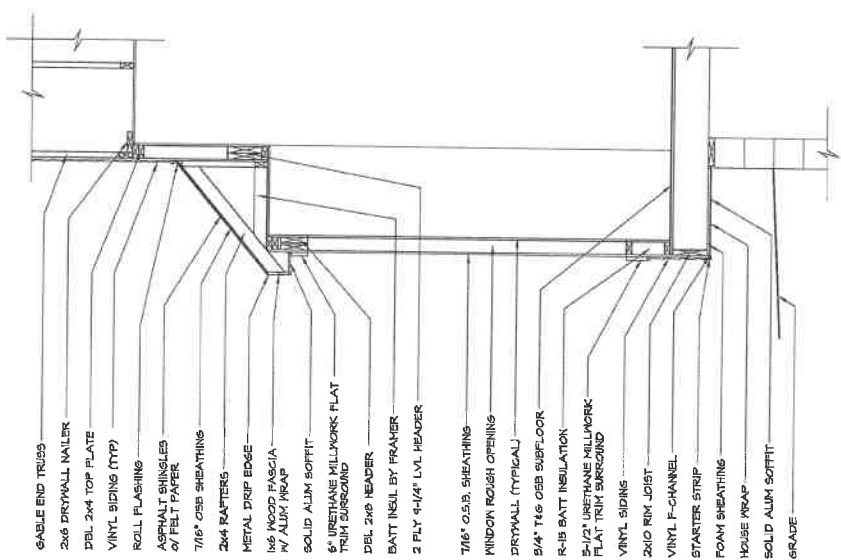
**TBE4 STRONG-TIE**  
 N.T.S.



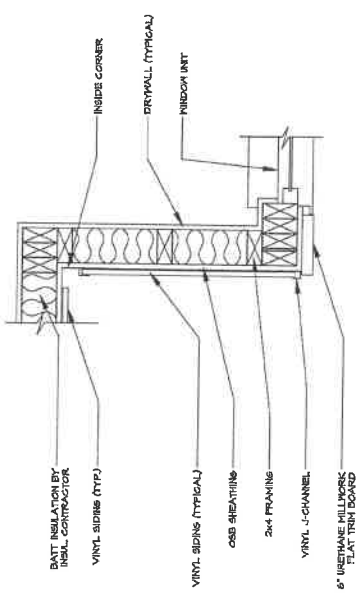
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 NAPOLCON, OH 43345  
 BG #4794  
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**MISC. FRAMING DETAILS**

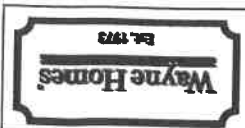
DATE	02/11/19
DESIGNED BY	CHS
CHECKED BY	CHS
DATE	02/11/19
PROJECT	
NO.	
REV.	
DATE	
BY	
DESCRIPTION	



**1 BOX BAY CROSS SECTION**  
 9/8" = 1'-0"



**2 BOX BAY FRAMING DETAIL**  
 NOT TO SCALE

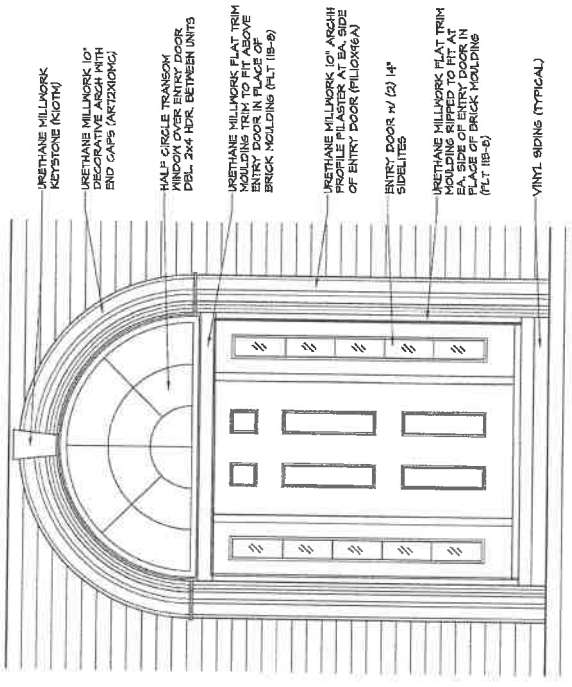


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 EG #4794  
 HENRY CO.

**MISC. FRAMING DETAILS**

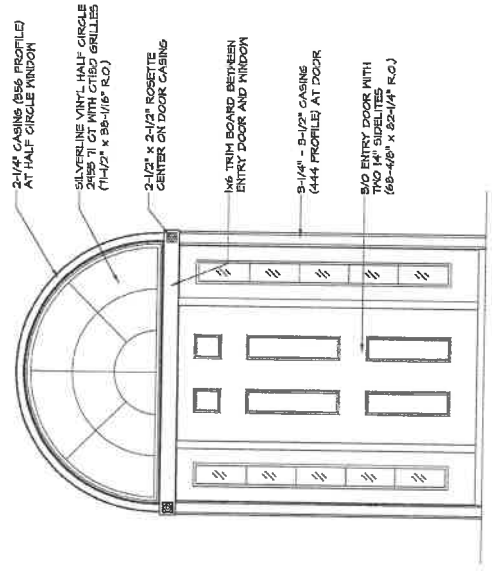
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DATE	04/14/19
PROJECT	1163 CLAIRMONT AVE
CLIENT	BRENT & JENNIFER BEARD
DESIGNER	CHRISTOPHER J. WILSON
CHECKED BY	CHRISTOPHER J. WILSON
SCALE	AS SHOWN
DRAWN BY	CHRISTOPHER J. WILSON



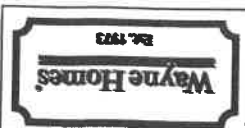
- URETHANE MILLWORK KEYSTONE (K107M)
- URETHANE MILLWORK 10" DECORATIVE ARCH WITH END CAPS (AKZ107M)
- HALF-CIRCLE TRANSOM AND LOWER ENTRY DOOR DEL. 2x4 FOR BETWEEN UNITS
- URETHANE MILLWORK FLAT TRIM MOLDING TRIM TO FIT ABOVE TRANSOM IN PLACE OF BRICK MOLDING (PLT. 11B-5)
- URETHANE MILLWORK 10" ARCH PROFILE PLASTER AT EA. SIDE OF ENTRY DOOR (P110XR6A)
- ENTRY DOOR 1/2 (2) 14" SIDELITES
- URETHANE MILLWORK FLAT TRIM MOLDING TRIM TO FIT AT PLAGE OF BRICK MOLDING (PLT. 11B-6)
- VINYL SIDING (TYPICAL)

1 ENTRY DOOR - EXTERIOR TRIM  
 9'0" - 1'-0"  
 A-4.25



- 2-1/4" CASING (B66 PROFILE) AT HALF-CIRCLE TRANSOM
- SILVERLINE VINYL HALF-CIRCLE 2x4S TO GO WITH C1160 GRILLES (11-1/2" x 98-1/16" R.O.)
- 2-1/2" X 2-1/2" ROSETTE CENTER ON DOOR CASING
- 1x6 TRIM BOARD BETWEEN ENTRY DOOR AND WINDOW
- 3-1/4" - 5-1/2" CASING (444 PROFILE) AT DOOR
- 5/8" ENTRY DOOR WITH TWO 14" SIDELITES (68-4/8" x 82-1/4" R.O.)

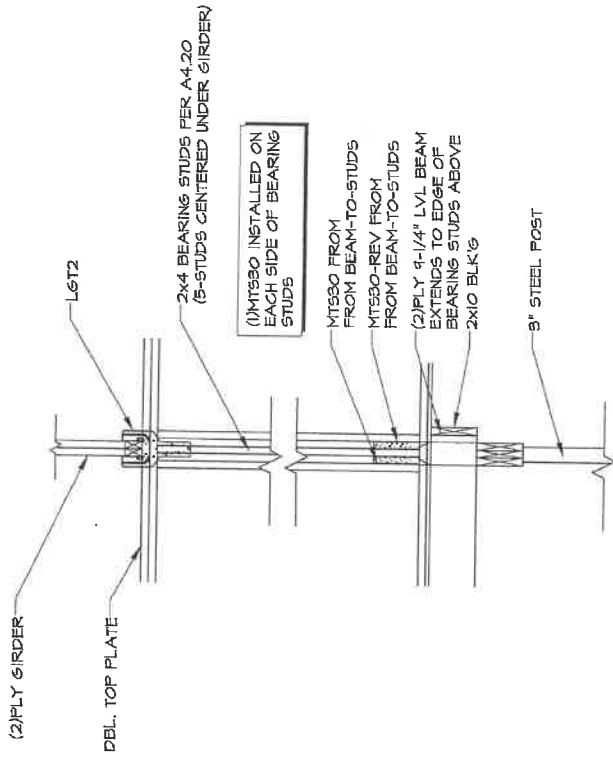
2 ENTRY DOOR - INTERIOR TRIM  
 9'0" - 1'-0"  
 A-4.25



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 BS #4794  
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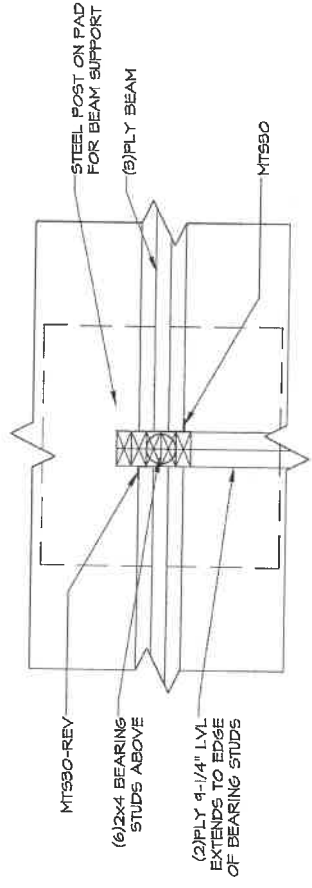
**MISC. FRAMING DETAILS**

NO. 000	DATE
REV. 01	DATE
REV. 02	DATE
REV. 03	DATE
REV. 04	DATE
REV. 05	DATE
REV. 06	DATE
REV. 07	DATE
REV. 08	DATE
REV. 09	DATE
REV. 10	DATE



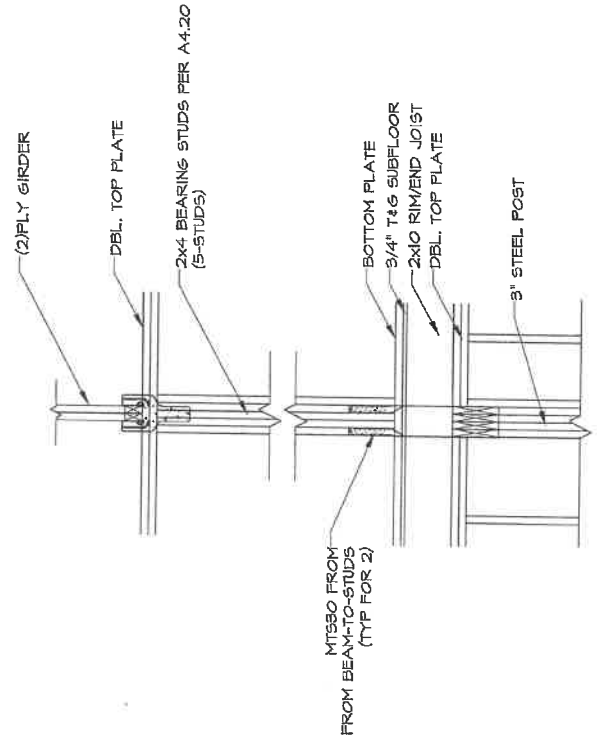
**2 GIRDER UPLIFT DETAIL**

NOT TO SCALE  
 TOP, BED SIDE-LOOKING FROM INSIDE BED #2



**2 GIRDER UPLIFT DETAIL**

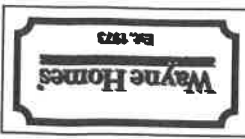
NOT TO SCALE



**1 GIRDER UPLIFT DETAIL**

NOT TO SCALE  
 STAIR SIDE - LOOKING FROM INSIDE BASEMENT

**1**  
 A4.26

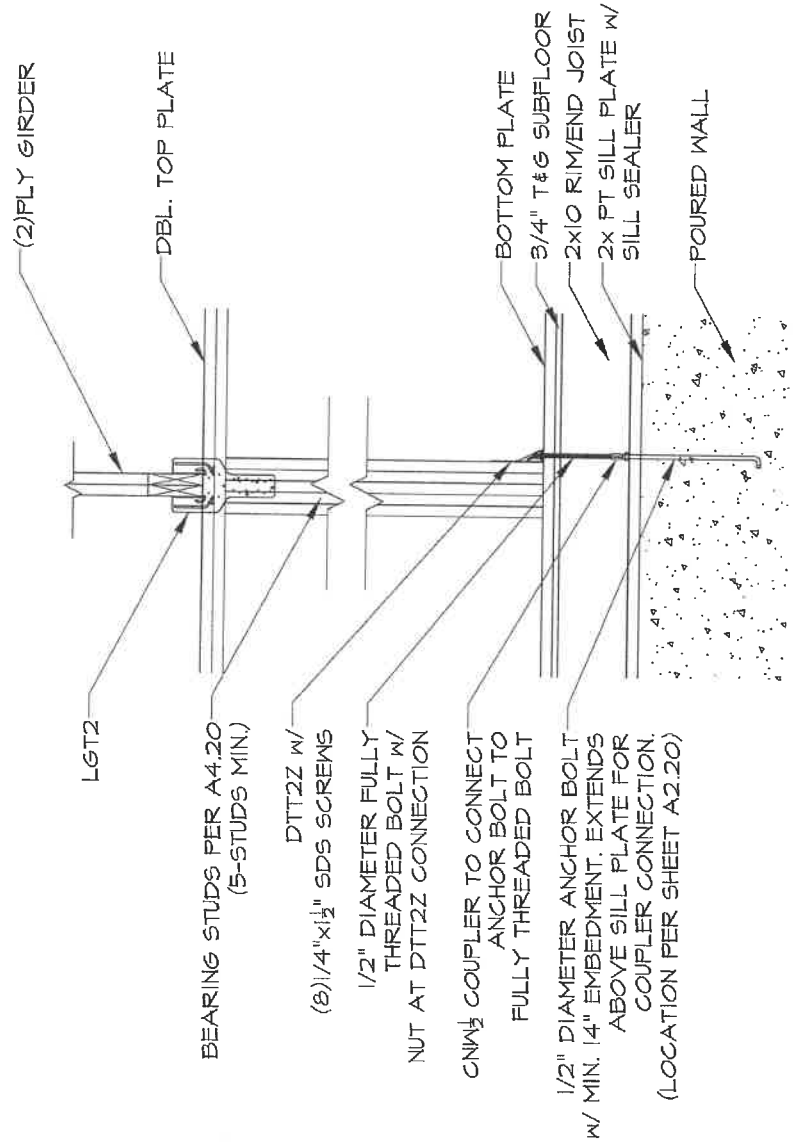


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 EG #4799  
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**MISC. FRAMING DETAILS**

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DATE	01/14/16
PROJECT	0207719
NO.	0207719
REV.	
BY	
CHECKED BY	
DATE	



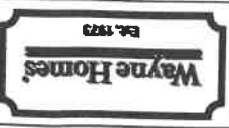
# GIRDER UPLIFT DETAIL

NOT TO SCALE

1  
 A4.27





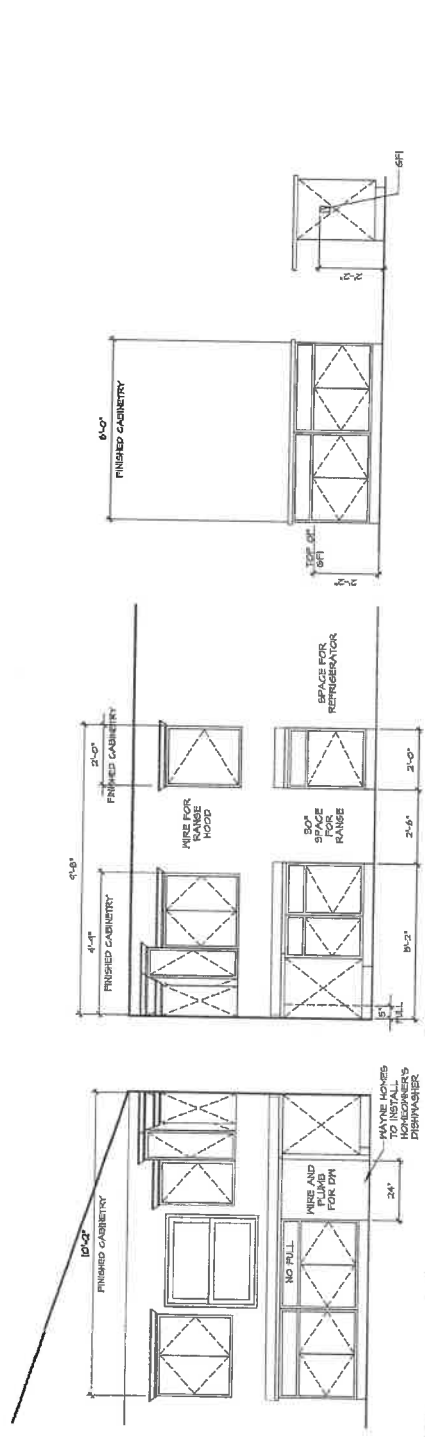


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 ES 44199  
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**KITCHEN PLAN  
 AND CABINET DETAILS**

DATE	01/14/19
PROJECT	CHC 000119
DESIGNER	CHC
DATE	01/14/19
REVISIONS	

Sheet  
**A8.10**

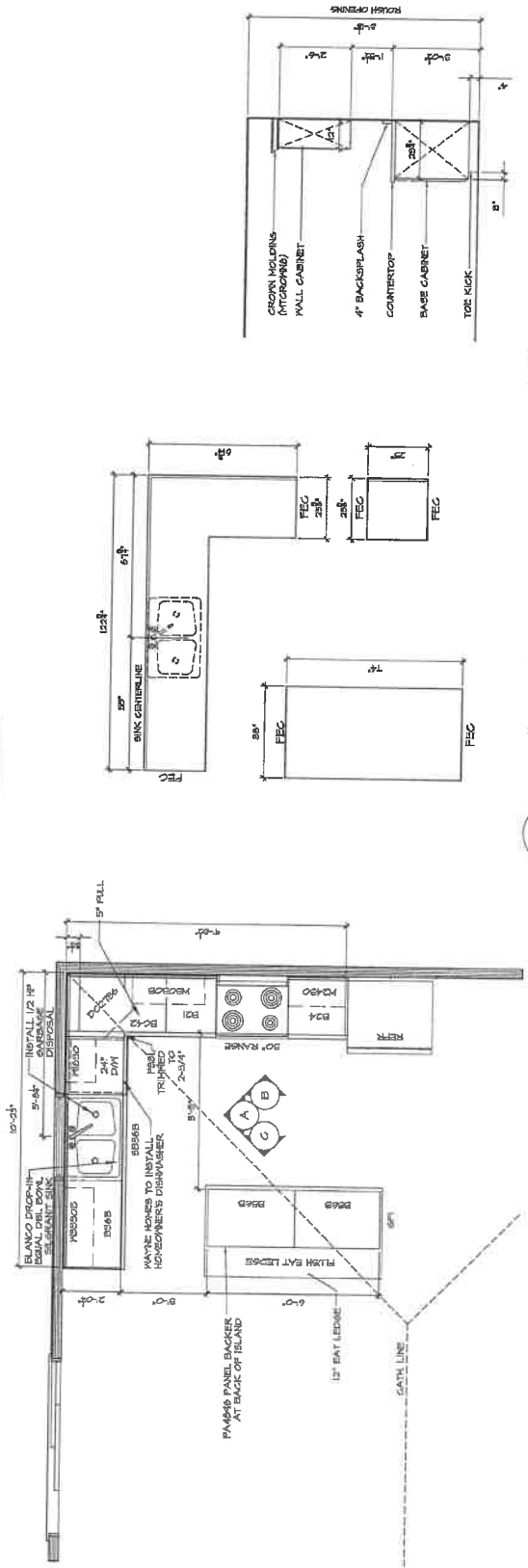


**A** CABINET ELEVATION

**B** CABINET ELEVATION

**C** ISLAND ELEVATION

FILLS AT ALL CABINETS UNLESS NOTED OTHERWISE



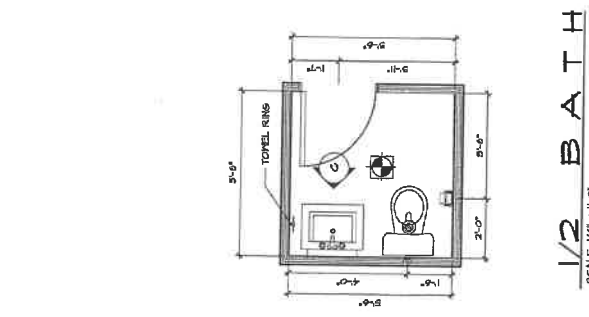
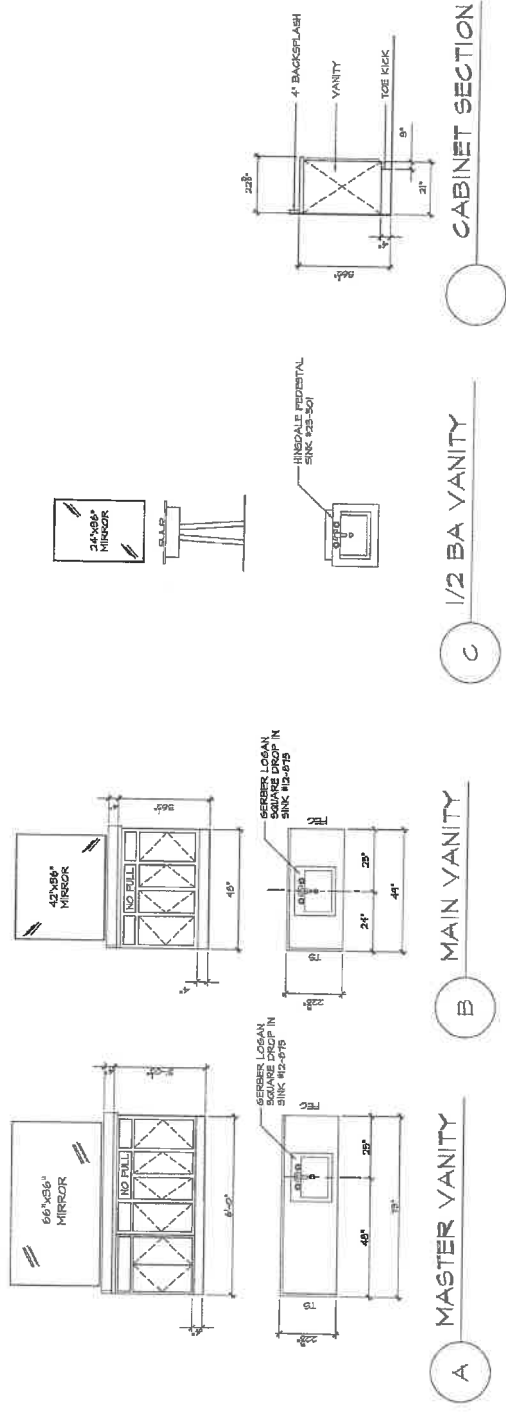
**CABINET SECTION**

**COUNTERTOP LAYOUTS**

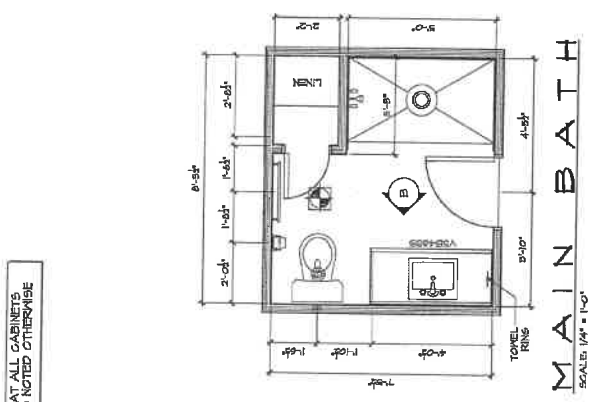
**KITCHEN PLAN**  
 SCALE: 1/4" = 1'-0"

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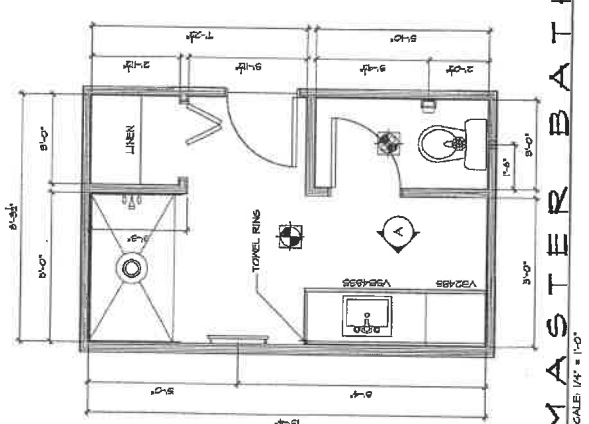
DATE	4/20/10
TITLE	BATH PLAN AND VANITY DETAILS
DESIGNED BY	BR/BJ
CHECKED BY	BR/BJ
DATE	4/20/10
SCALE	1/4" = 1'-0"
PROJECT NO.	1000000000
DRAWING NO.	1000000000



1/2 BATH  
 SCALE: 1/4" = 1'-0"

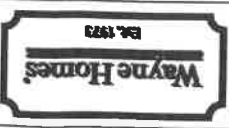


MAIN BATH  
 SCALE: 1/4" = 1'-0"



MASTER BATH  
 SCALE: 1/4" = 1'-0"

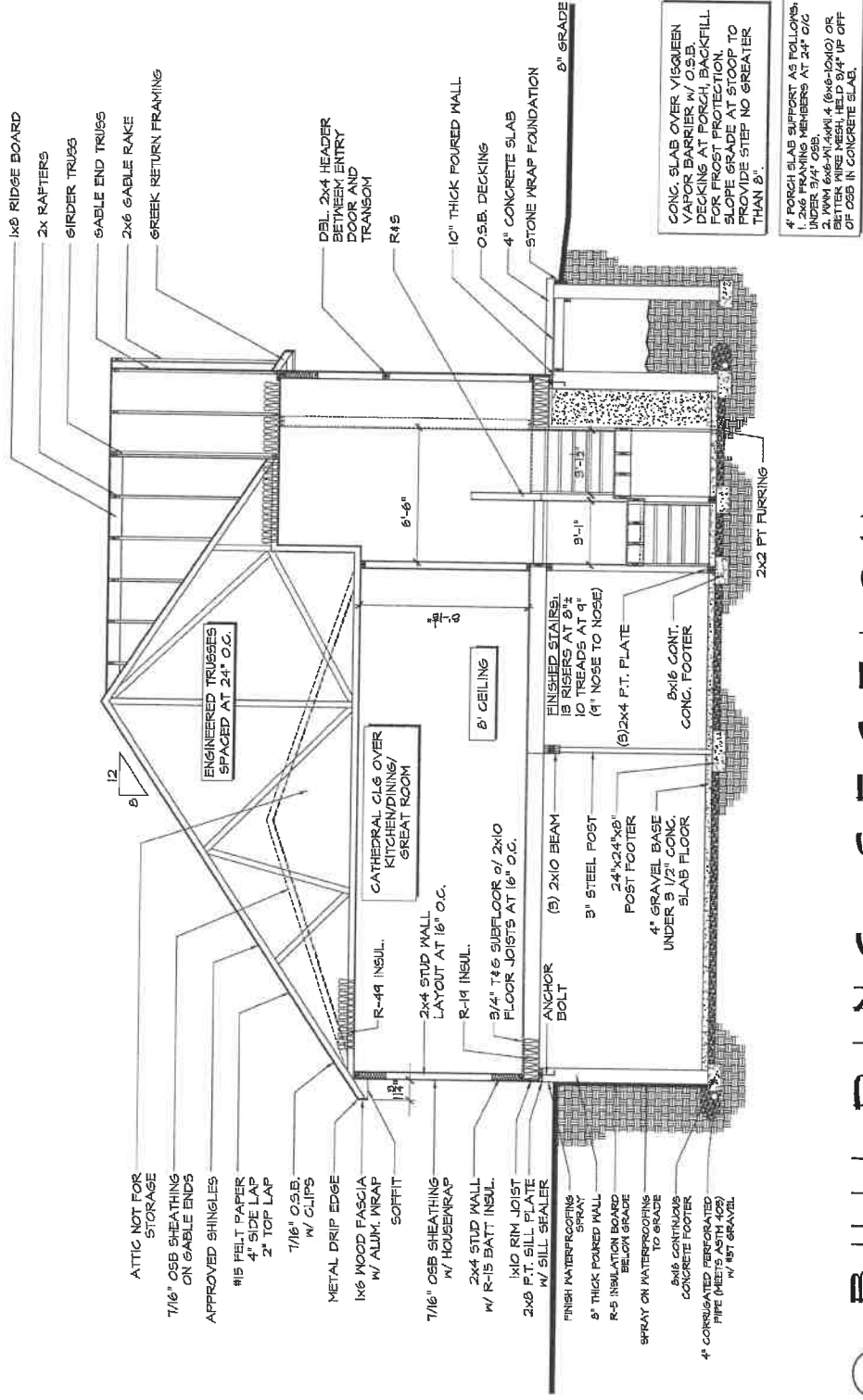
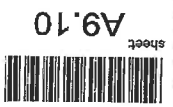
FULLS AT ALL CABINETS UNLESS NOTED OTHERWISE



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**BUILDING SECTION**

DATE	01/14/18
PROJECT	CNC 0307018
DESIGNER	
DATE	



CONC. SLAB OVER VISGMEEN VAPOR BARRIER W/ OSB. DECKING AT PORCH, BACKFILL FOR PROTECTION. SLOPE GRADE AND STOOP TO PROVIDE STEP NO GREATER THAN 8".

4' PORCH SLAB SUPPORT AS FOLLOWS:  
 1. 2x6 FRAMING MEMBERS AT 24" O.C. UNDER 3/4" OSB.  
 2. WMM 6x6-W1.4xM1 4 (6x6-10x10) OR BETTER WIDE MESH, HELD 3/4" UP OFF OF OSB IN CONCRETE SLAB.

**A BUILDING SECTION**

3/16" = 1'-0"

WINDOW SCHEDULE

WINDOW	WIDTH R.O.	HEIGHT R.O.	SPECIAL NOTES	WINDOW	WIDTH R.O.	HEIGHT R.O.	SPECIAL NOTES
24-PT152	6'-0"	4'-4 1/2"		SPW24140-4020	4'-0 1/2"	3'-0 1/2"	MILLED
24-PT160	6'-0"	6'-0 1/2"		SPM40(CT)	4'-0 1/2"	4'-0 1/2"	TEMPERED
24-PT512	4'-8"	6'-0 1/2"	TRIPLE CABINET	SPW2950-5044	5'-0 1/2"	4'-4 1/2"	
24-PT515	5'-2 1/4"	6'-0 1/2"		SPW5040	5'-0 1/2"	4'-0 1/2"	
SH2250	1'-6 1/2"	6'-0 1/2"		SPM40(40)	4'-0 1/2"	6'-0 1/2"	
SH2250	2'-0 1/2"	6'-0 1/2"	TEMPERED	SPH1550	4'-6 1/2"	5'-0 1/2"	
SH2250(11-2)	4'-0"	4'-0 1/2"	MILLED, TEMPERED	PKW5050	5'-0 1/2"	5'-0 1/2"	
SH2250	2'-0 1/2"	5'-0 1/2"	MILLED	2010/2010/2010 TRANSOM STACKED OVER SH2050/SH2050/SH2050	1'-1 1/2"	6'-2 3/4"	
SH2440	1'-1 1/2"	6'-0 1/2"		5016-2 TRANSOM STACKED OVER SH2250-2	6'-0"	6'-10 5/4"	
SH2440(1)	2'-4 1/2"	4'-0 1/2"	TEMPERED	5210-2 TRANSOM STACKED OVER SH2250-2	6'-4"	6'-2 3/4"	
SH2440(2)	4'-8"	4'-0 1/2"	MILLED, TEMPERED	24-PT5250-2	6'-0"	5'-6"	
SH2450/SH2450/SH2450/SH2450	1'-1 1/2"	6'-11"	MILLED	24-PT6265	6'-0"	4'-11 3/8"	
SH2450/SH2450/SH2450/SH2450/SH2450	2'-8 1/2"	4'-0 1/2"	TEMPERED	SH2050/SPM4050/SH2050	1'-1 1/2"	5'-0 1/2"	MILLED
SH2450	2'-8 1/2"	4'-0 1/2"	MILLED	SH2050/SH2050/SH2050	6'-3 1/2"	5'-0 1/2"	MILLED
SH2450-2	5'-4"	4'-0 1/2"	MILLED	2010/2010/2010 TRANSOM STACKED OVER SH2050/SH2050/SH2050	6'-11 1/2"	6'-2 3/4"	
SH2850	1'-1 1/2"	5'-0 1/2"	TEMPERED	5016-2 TRANSOM STACKED OVER SH2050-2	6'-0"	6'-8 3/4"	
SH2850(1)	2'-8 1/2"	5'-0 1/2"	MILLED	5010-2 TRANSOM STACKED OVER SH2050-2	6'-0"	6'-2 3/4"	
SH2850-2	5'-4"	5'-0 1/2"	MILLED	5060/TSO10	9'-0 1/2"	1'-2 3/4"	
SH2850-3	1'-1 1/2"	5'-0 1/2"	MILLED	5060/GRS36	9'-0 1/2"	4'-2 3/4"	
SH2850(11)	9'-0 1/2"	9'-0 1/2"	TEMPERED	2020/2020/2020 TRANSOM STACKED OVER SH2056/SH2056/SH2056	6'-11 1/2"	1'-9 3/4"	
SH2850-2	6'-0"	9'-0 1/2"	MILLED	2824-2 TRANSOM STACKED OVER SH2856-2	5'-4"	8'-0 3/4"	MILLED
SH2850-3	9'-0 1/2"	9'-0 1/2"	MILLED	5010 TRANSOM STACKED OVER SH2050	9'-0 1/2"	4'-2 3/4"	MILLED
SH2850-4	6'-11 1/2"	4'-0 1/2"	MILLED	2016/9/16/2016 TRANSOM STACKED OVER SH2056/SH2056/SH2056	6'-11 1/2"	1'-2 3/4"	MILLED
SH2850-5	6'-0"	9'-0 1/2"	MILLED	5010 TRANSOM STACKED OVER SH2050	9'-0 1/2"	6'-8 3/4"	MILLED
SH2850-6	6'-0"	9'-0 1/2"	MILLED	(2)2056 SH W/ 24E112C TRANSOM	6'-0"	1'-1 5/8"	MILLED
SH2850-7	6'-0"	9'-0 1/2"	MILLED	2455 T1CF 01B0 CV SH2050-2	6'-0"	8'-4 1/2"	MILLED
SH2850-8	6'-0"	9'-0 1/2"	MILLED	PK-2820	2'-8 1/2"	2'-8 1/2"	MILLED
SH2850	9'-0 1/2"	9'-0 1/2"	TEMPERED	DOOR			
SH2850(1)	6'-0"	6'-0 1/2"	MILLED	DOOR W/ 1 SL	53 3/8"		
SH2850-2	6'-0"	6'-0 1/2"	MILLED	DOOR W/ 2 SL	63 7/8"		
SH2850-3	6'-0"	6'-0 1/2"	MILLED	DOOR W/ 2 SL W/ 15-1-2 TRANS	63 7/8"		
SH2850-4	6'-0"	6'-0 1/2"	MILLED	5000-5068	6'-0 1/8"		
SH2850-5	6'-0"	6'-0 1/2"	MILLED	5000-2008	6'-0 1/8"		
SH2850-6	6'-0"	6'-0 1/2"	MILLED	5000-5068 M1610 TRANSOM	6'-0 1/8"		
SH2850-7	6'-0"	6'-0 1/2"	MILLED	IDP6068(S1616) or IDP6068(S1617)	6'-1"		
SH2850-8	6'-0"	6'-0 1/2"	MILLED	6068 ANTRUM DOOR	6'-9 1/2"		
SH2850-9	6'-0"	6'-0 1/2"	MILLED	6068 ANTRUM DOOR W/ 1" TRANSOM	6'-9 1/2"		
SH2850-10	6'-0"	6'-0 1/2"	MILLED	6068 FRENCH DOOR	6'-2 1/2"		
SH2850-11	6'-0"	6'-0 1/2"	MILLED		6'-10 1/4"		
SH2850-12	6'-0"	6'-0 1/2"	MILLED				
SH2850-13	6'-0"	6'-0 1/2"	MILLED				
SH2850-14	6'-0"	6'-0 1/2"	MILLED				
SH2850-15	6'-0"	6'-0 1/2"	MILLED				
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SH2850-151	6'-0"	6'-0 1/2"	MILLED				
SH2850-152	6'-0"	6'-0 1/2"	MILLED				
SH2850-153	6'-0"	6'-0 1/2"	MILLED				
SH2850-154	6'-0"	6'-0 1/2"	MILLED				
SH2850-155	6'-0"	6'-0 1/2"	MILLED				
SH2850-156	6'-0"	6'-0 1/2"	MILLED				
SH2850-157	6'-0"	6'-0 1/2"	MILLED				
SH2850-158	6'-0"	6'-0 1/2"	MILLED				
SH2850-159	6'-0"	6'-0 1/2"	MILLED		</		



**SHEET INDEX**

Table listing sheet numbers (A-1.00 to A-1.11) and their corresponding descriptions (COVER SHEET, GENERAL NOTES, FLOOR PLAN, etc.).

**DESIGN CRITERIA / CODE COMPLIANCE**

THESE PLANS ARE TO COMPLY WITH:

**ABBREVIATIONS**

Large table of architectural abbreviations with symbols and descriptions for various building components like doors, windows, and materials.

**GRAPHIC LEGEND**

Graphic legend table showing symbols for materials like concrete, soil, gravel, insulation, vinyl siding, brick, stone, and stone siding.

**SQUARE FOOTAGE SUMMARY**

Summary table of square footage for various areas including lower floor area, optional first floor area, second floor area, and garage area.

**CHANGE ORDER SUMMARY**

Summary table showing the number of sheets completed through change orders.

**COVER SHEET**

Project information table including sheet number (A1.00), drawing number (02/17/10), and other project details.



Wayne Homes address: 1669 CLAIRMONT AVE, NAPA, CA 94949

Wayne Homes disclaimer text regarding the accuracy of the plans.

GENERAL NOTES

FOUNDATION NOTES

1. SCOOP TIE INTO BASEMENT WALL WITH (2) PIECES OF DUROM WALL AT 5th AND 6th CORNERS.
2. PORCHES LACED INTO BASEMENT WALL PER DETAIL FM-2.
3. ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 12" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 12" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 12" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 12" ON CENTER AT ALL OTHER WALLS.
4. ANCHOR BOLTS TO BE LOCATED UNDER WINDOW SILL WITH 1" MINIMUM CLEARANCE FROM WINDOW SILL. ANCHOR BOLTS TO BE LOCATED UNDER WINDOW SILL WITH 1" MINIMUM CLEARANCE FROM WINDOW SILL.
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FRAMING NOTES

1. DOUBLE STUDS AT CENTER BEARING WALL (1) STUD TO SUPPORT EACH JOIST AT HEAT RUNS.
2. ONLY OSB MAY BE USED AS SPACER MATERIAL BETWEEN PLYS IN STRUCTURAL WALLS.
3. DOUBLE 2x8 HEADER WITH 7/8" OSB SPACER BETWEEN PLYS AT ALL BEARING WALL OPENINGS OR AS WHEN NECESSARY-DOUBLE 2x10 HEADER WITH CONTINUOUS 7/8" OSB BETWEEN PLYS AND DOUBLE JACKS AT EACH SIDE OF OPENING.
4. USE JOIST HANGERS WHERE NO SOLID BEARING IS PROVIDED.
5. ADD DOUBLE 2x10 BLOCKING UNDER ALL JACK AND KING STUDS AT ALL BEARING WALL OPENINGS.
6. ADD DOUBLE 2x10 BLOCKING UNDER ALL JACK AND KING STUDS AT ALL BEARING WALL OPENINGS.
7. FLASH WITH FOUNDATION SILL PLATES OFFSET 1/2" FROM OUTSIDE FOUNDATION WALL SO SHEATHING WILL BE FLUSH WITH FOUNDATION SILL PLATES.
8. LVL NAILING PATTERN TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. 4 PLY OR LARGER NEEDS TO BE NAILED PER PATTERN.
9. ADD 2x10 HORIZONTAL BLOCKING BETWEEN STUDS IN THESE LOCATION (TOP, MIDDLE, BOTTOM) OF AREA ONLY FOR HANDRAIL BRACKETS. BLOCKING TO BE INSTALLED IN FULL WALL OR OPPOSITE-RAIL AREA ONLY FOR HANDRAIL BRACKETS. BLOCKING TO BE INSTALLED IN FULL WALL OR OPPOSITE-RAIL AREA ONLY FOR HANDRAIL BRACKETS.
10. INSTALL 1x6 BLOCKING ON TOP FLANGE OF ALL INTERIOR WALLS PERPENDICULAR TO TRUSSES IN THE MIDDLE THIRD OF THE TRUSS SPAN PER DETAIL SM-1.
11. INTERIOR TOP PLATES OF INTERSECTING WALLS NEED TO BE TIED IN.
12. ALL INTERIOR TRUSSES TO BE BRACED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS THAT ARE LISTED WITH TRUSS BRACING.
13. TRUSSES AND TRUSS MEMBERS ARE NEVER TO BE CUT OR ALTERED WITHOUT APPROVED ENGINEERING FROM BUILDER.
14. NO WOODEN SHIMS ARE TO BE USED UNDER ANY BEAMS ( ONLY METAL SHIMS).
15. 1x4x6 PINE STAPLER STRIP IS TO BE USED AT THE BACK OF THE FLOORING LAYOUT PER DETAIL SF-3.

EXTERIOR ENVELOPE QUALITY

1. INSTALL PAN FLASHING UNDER ALL EXTERIOR DOORS EXCEPT FOR GARAGE/HOUSE AND GARAGE/TOILET PER DETAIL FLASHING PER DETAIL.
2. INSTALL 2x4 FLY OVER JACKS PER DETAIL FLASHING PER DETAIL.
3. ALL EXTERIOR WALLS COVERED W/CHICKEN WIRE IN SINGLE ASPECT.
4. ALL WINDOWS TO BE INSTALLED, CALLED AND TAPED PER DETAILS.
5. INSTALL PATIO DOOR PAN FLASHING PER DETAIL.
6. INSULATE AND HOSE WRAP ALL CANTILEVERS PER DETAIL.
7. BRICK FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
8. BRICK FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
9. BRICK FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
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19. BRICK FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
20. BRICK FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.

FINISHES

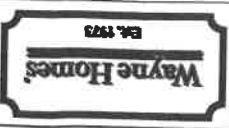
1. ALLOW 1" FROM END OF VANITY TO CENTERLINE OF TOILET, UNLESS NOTED OTHERWISE.
2. ALLOW 1" FROM END OF VANITY TO CENTERLINE OF TOILET, UNLESS NOTED OTHERWISE.
3. PAPER BOX HEIGHT TO BE 48" FROM FLOOR.
4. TOWEL RING TO BE MOUNTED AT 60" ABOVE FINISHED FLOOR.

JOB SPECIFIC

1.

PRELIM VERIFY NOTES

1. PLEASE VERIFY LOCATION OF KITCHEN ISLAND.
2. PLEASE VERIFY PLACEMENT OF (12) RECESSED LIGHTS.
3. PLEASE VERIFY CATHEDRAL RIDGE LINE AND HEIGHTS OF WALLS WITHIN CATHEDRAL.
4. PLEASE VERIFY ALL CABINET SIZES ON EITHER SIDE OF WINDOW TO ALLOW SPACE FOR WINDOW AND TRIM ABOVE SINK.
5. PLEASE VERIFY POURED EXPRESS WINDOW WELL LOCATION AT PG MEETING.



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DATE	NO.	BY
01/14/20	0001	DMC
02/07/20	0002	DMC
03/11/20	0003	DMC
04/15/20	0004	DMC
05/19/20	0005	DMC
06/23/20	0006	DMC
07/27/20	0007	DMC
08/31/20	0008	DMC
09/24/20	0009	DMC
10/18/20	0010	DMC
11/12/20	0011	DMC
12/06/20	0012	DMC

